



City of Napoleon, Ohio

Zoning Department

255 West Riverview Avenue, P.O. Box 151

Napoleon, OH 43545

Kevin Schultheis Code Enforcement / Zoning Administrator

Telephone: (419) 592-4010 Fax: (419) 599-8393

www.napoleonohio.com

RESIDENTIAL ZONING PERMIT

Issued Date: March 13, 2024

Expiration Date: March 13, 2025

Permit Number: P-24-018

Job Location: 229 Front Street

Owner: Benjamin Grisier
229 Front Street
Napoleon, OH 43545

Contractor: Self

Phone: 419-357-3960

Zone: C-1: General Commercial

Set Backs: Front Yard: 25' Rear Yard: 15' Side Yard: 7'

Comments: Addition

Permit Type: Zoning

Fee: \$25.00

Status: Paid

Amount Due: \$0.00

Kevin Schultheis
Code Enforcement / Zoning Administrator



City of Napoleon, Ohio

P-24-018
C-1

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Residential Zoning Permit Application

Date 2/26/24 Job Location 229 Front St Napoleon OH

Owner Benjamin Jorison Telephone # _____

Owner Address 319 S. Oakwood St Wausean

Contractor Home owner Cell Phone # 419-357-3960

Description of Work to be Performed addition

Estimated Completion Date 2/26/25 Estimated Cost \$100,000.00

Demo Permit - \$100.00 – See Separate Form	(MDEMO 100.1700.46690)	\$
Zoning Permit - \$25.00	(MZON 100.1700.46690)	\$ 25.00
Fence/Pool/Deck - \$25.00	(MZON 100.1700.46690)	\$
Accessory Building 200 SF or less (Detached) - \$25.00	(MZON 100.1700.46690)	\$
Driveway/Sidewalk/Curbing/Patio - \$0.00	(MZON 100.1700.46690)	\$
Drainage Permit/Outside Water/Sewer Repair - \$0.00	(MBLDG 510.0000.44730)	\$
1" Water Tap, 5/8" Meter, Copper Setter and Transmitter - \$1,200.00(Outside City - \$1,680)	(MBLDG 510.0000.44730)	\$
1" Water Tap, 3/4" Meter, Copper Setter and Transmitter - \$1,300.00(Outside City - \$1,820)	(MBLDG 510.0000.44730)	\$
1" Water Tap, 1" Meter, Copper Setter and Transmitter - \$1,400.00 (Outside City - \$1,960)	(MBLDG 510.0000.44730)	\$
1" Meter, Copper Setter and Transmitter Without Tap - \$525.00	(MBLDG 510.0000.44730)	\$
3/4" Meter, Copper Setter and Transmitter Without Tap - \$440.87	(MBLDG 510.0000.44730)	\$
5/8" Meter, Copper Setter and Transmitter Without Tap - \$350.00	(MBLDG 510.0000.44730)	\$
Sewer Tap For Lots 7,200 Sq. Ft. Or Less - \$0.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Single Family) 7,201 To 12,199 Sq. Ft. (x \$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Single Family) 12,200 Sq. Ft. or Greater - \$60.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 7,201 to 23,866 Sq. Ft. (x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 23,867 Sq. Ft. or Greater - \$200.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 7,201 to 36,366 Sq. Ft. (x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 36,367 Sq. Ft. or Greater - \$350.00	(MBLDG 520.0000.44830)	\$
Sewer Tap Inspection Fee For Single Family or Duplex - \$60.00	(MBLDG 520.0000.44830)	\$
Inspection Fee Outside the Corporation Limits - Increase 50%	(MBLDG 520.0000.44830)	\$
TOTAL FEE:		\$ 25.00

I FULLY UNDERSTAND THAT NO EXCAVATION, CONSTRUCTION OR STRUCTURAL ALTERATION, ELECTRICAL OR MECHANICAL INSTALLATION OR ALTERATION OF ANY BUILDING STRUCTURE, SIGN, OR PART THEREOF AND NO USE OF THE ABOVE SHALL BE UNDERTAKEN OR PERFORMED UNTIL THE PERMIT APPLIED FOR HEREIN HAS BEEN APPROVED AND ISSUED BY THE CITY OF NAPOLEON ZONING DEPARTMENT.
I hereby certify that I am the Owner of the named property, or that the proposed work is authorized by the Owner of record and that I have been authorized by the Owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for Work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.
I HEREBY ACKNOWLEDGE THAT I HAVE READ AND FULLY UNDERSTAND THE ABOVE LISTED INSTRUCTIONS.

SIGNATURE OF APPLICANT: Benjamin Jorison DATE: _____

BATCH # _____ CHECK # Cash DATE 2/27/24

Per Rule 10.2 of the City of Napoleon Rules for Water and Sewer Service, City personnel will assist property owners in locating existing sanitary sewer laterals and water services to the best of their ability. However, the City does not guarantee the accuracy of said markings and is not liable for any expense incurred by the property owner if said markings are incorrect.

BEN GRISIER

229 EAST FRONT STREET

NAPOLEON, OHIO

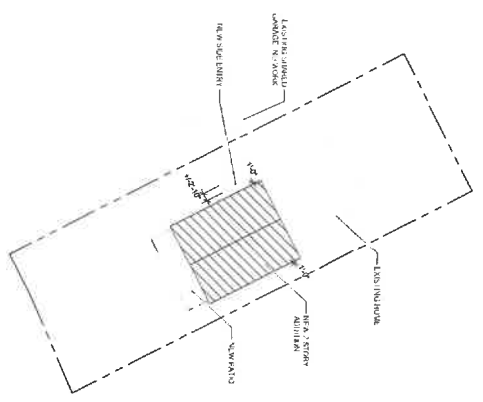
Design Summary

PROJECT ADDRESS: 229 EAST FRONT STREET, NAPOLÉON, OHIO 44660
 BUILDING CODE: 2018 OHIO RESIDENTIAL BUILDING CODE
 PROJECT MANUAL: 2018 OHIO RESIDENTIAL BUILDING CODE
 SOIL BEARING CAPACITY: 2000 PSF (BASED ON VALUE FROM TABLE 404.4.1)
 FLOOR LOADS: 40 PSF (LIVE), 20 PSF (DEAD)
 WIND SPEED: 70 MPH (SUSTAINED)

Drawing Index

- A-1 TITLE PAGE / SITE PLAN / NOTES
- A-2 FOUNDATION PLAN & FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN, ELEVATIONS, & SECTION
- A-4 ELEVATIONS
- A-5 FRAMING PLANS AND FRAMING DETAILS
- A-6 SECTIONS AND DETAILS

1 SITE PLAN
 A-1 SCALE: 1" = 20'-0"



2 LOCATION MAP
 A-1 SCALE: N.T.S.



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE OHIO RESIDENTIAL BUILDING CODE, UNLESS OTHERWISE SPECIFIED.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURB AND DRIVEWAY.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS.

7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PLANTINGS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.

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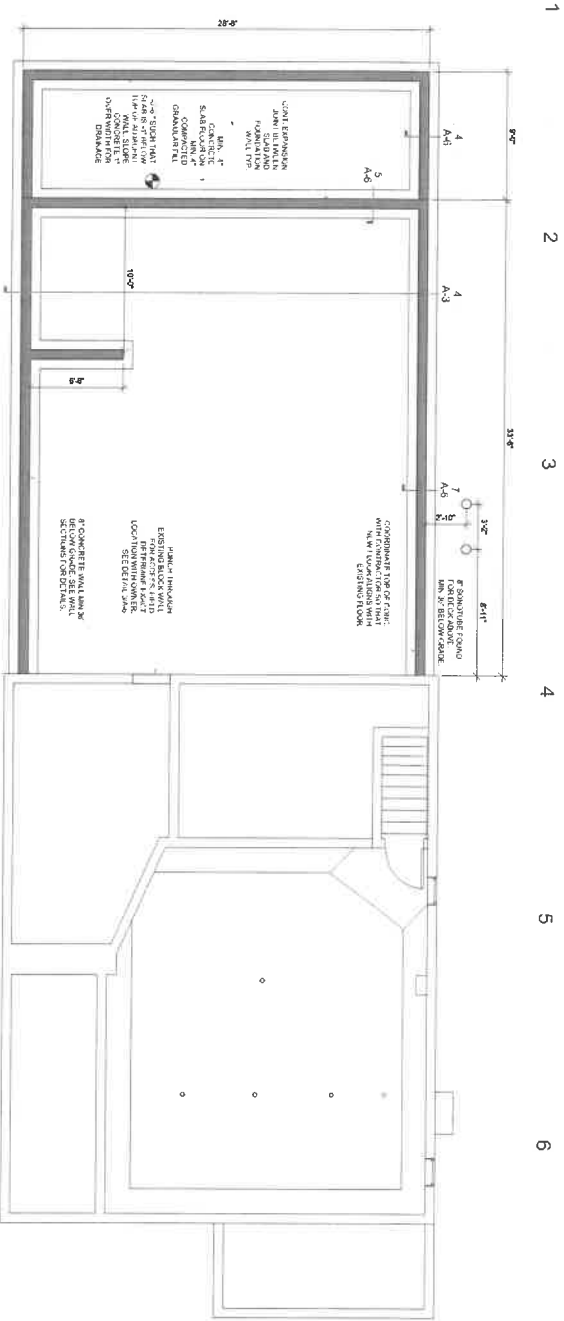
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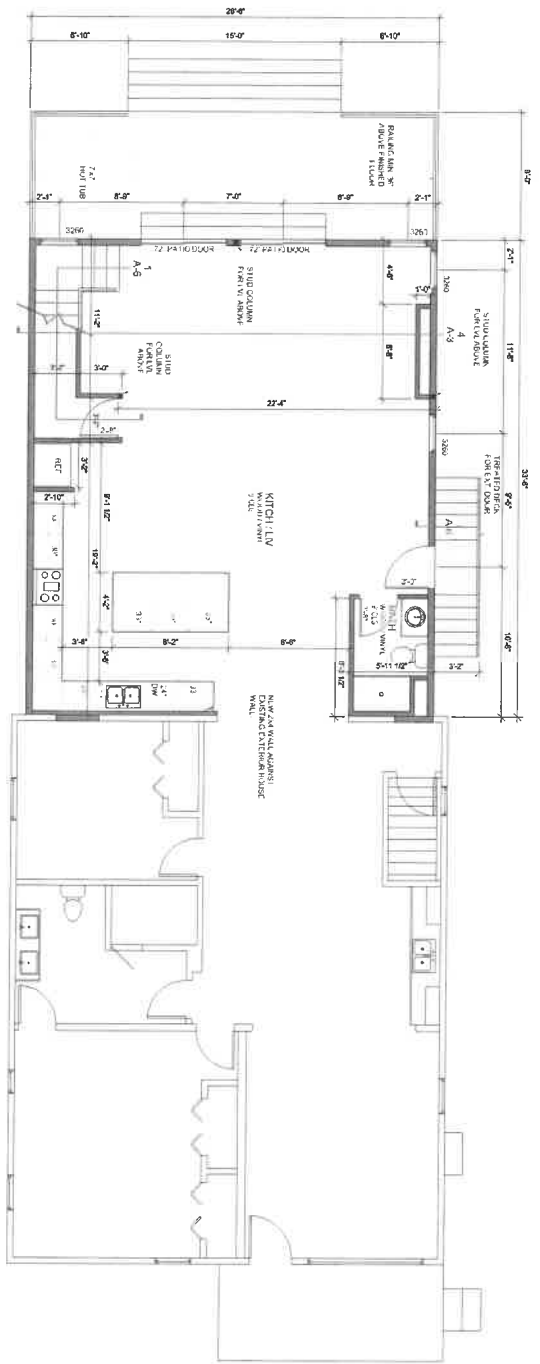
99. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRIVEWAY AND SIDEWALK.

100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.





1. FOUNDATION PLAN - NEW
A-2 SCALE: 1/4" = 1'-0"



2. FIRST FLOOR - NEW
A-2 SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. CONTINGENCY MATERIALS AND PRICES SHALL BE TO BE DETERMINED BY THE OWNER AND CONTRACTOR.
2. ALL FIRST FLOOR WALLS SHALL BE FINISHED WITH BRICK OR BLOCK VENEER WITH 1/2\"/>

WALL LEGEND:

- | | |
|----|-------|
| 1 | 8\"/> |
| 2 | 6\"/> |
| 3 | 1\"/> |
| 4 | 1\"/> |
| 5 | 8\"/> |
| 6 | 8\"/> |
| 7 | 8\"/> |
| 8 | 8\"/> |
| 9 | 8\"/> |
| 10 | 8\"/> |

ENERGY CODE COMPLIANCE TABLE:

ASSEMBLY	U-VALUE	R-VALUE	U-VALUE	R-VALUE
1. UNFINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION	0.20	5.00	0.15	6.67
2. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION	0.15	6.67	0.10	10.00
3. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM	0.10	10.00	0.05	20.00
4. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM	0.05	20.00	0.02	50.00
5. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM	0.02	50.00	0.01	100.00

SQUARE FOOTAGE:

285 SQ FT. GYPSUM BOARD WITH POLYSTYRENE INSULATION
285 SQ FT. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION
285 SQ FT. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM
285 SQ FT. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM
285 SQ FT. FINISHED GYPSUM BOARD WITH POLYSTYRENE INSULATION AND STYROFOAM

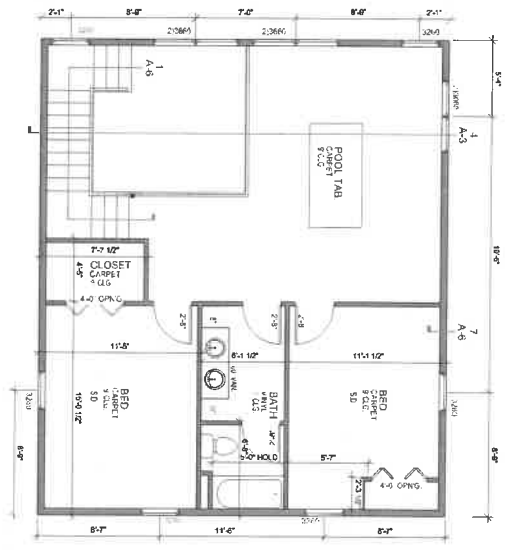


lance wyse, architect
wyse.lance@gmail.com
419.630.8995

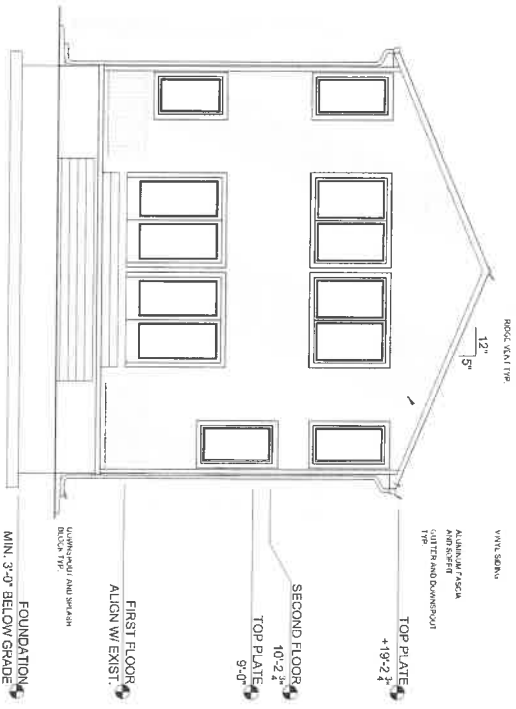
GRISER
NEW ADDITION

DATE: 2/20/24
PROJECT: GRISER NEW ADDITION
DRAWN: JH

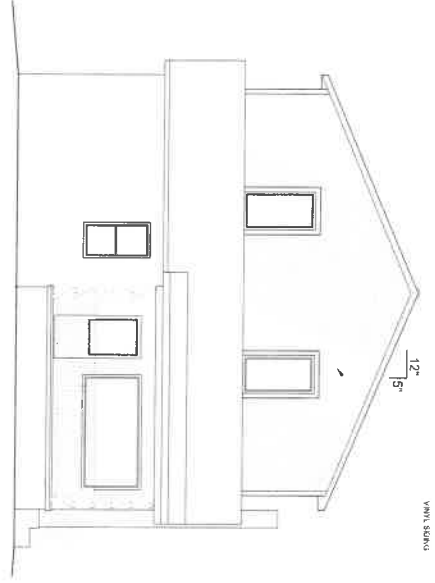
A-2



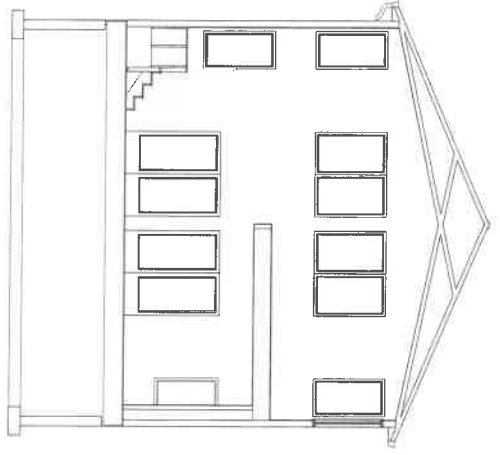
1 SECOND FLOOR - NEW
A-3 SCALE: 1/4" = 1'-0"



2 RIVER VIEW ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 RIVER VIEW ELEVATION
A-3 SCALE: 1/4" = 1'-0"



4 SECTION
A-3 SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. COORDINATE ALL MATERIALS AND FINISHES WITH OWNER.
2. COORDINATE ALL UTILITIES AND INSTALLATIONS.
3. ALL INTERIORS TO HAVE GREEN WALLS WITH TRIM TO BE CURRENT CODE REQUIREMENT OF 0.50 L.F. OPENING.
4. ALL INTERIORS TO HAVE GREEN WALLS WITH TRIM TO BE CURRENT CODE REQUIREMENT OF 0.50 L.F. OPENING.
5. SMOKE DETECTORS SHALL BE PROVIDED IN EACH BEDROOM AND BATHROOM.
6. SMOKE DETECTORS SHALL BE PROVIDED IN EACH BEDROOM AND BATHROOM.
7. ALL INTERIORS TO HAVE GREEN WALLS WITH TRIM TO BE CURRENT CODE REQUIREMENT OF 0.50 L.F. OPENING.
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WALL LEGEND:

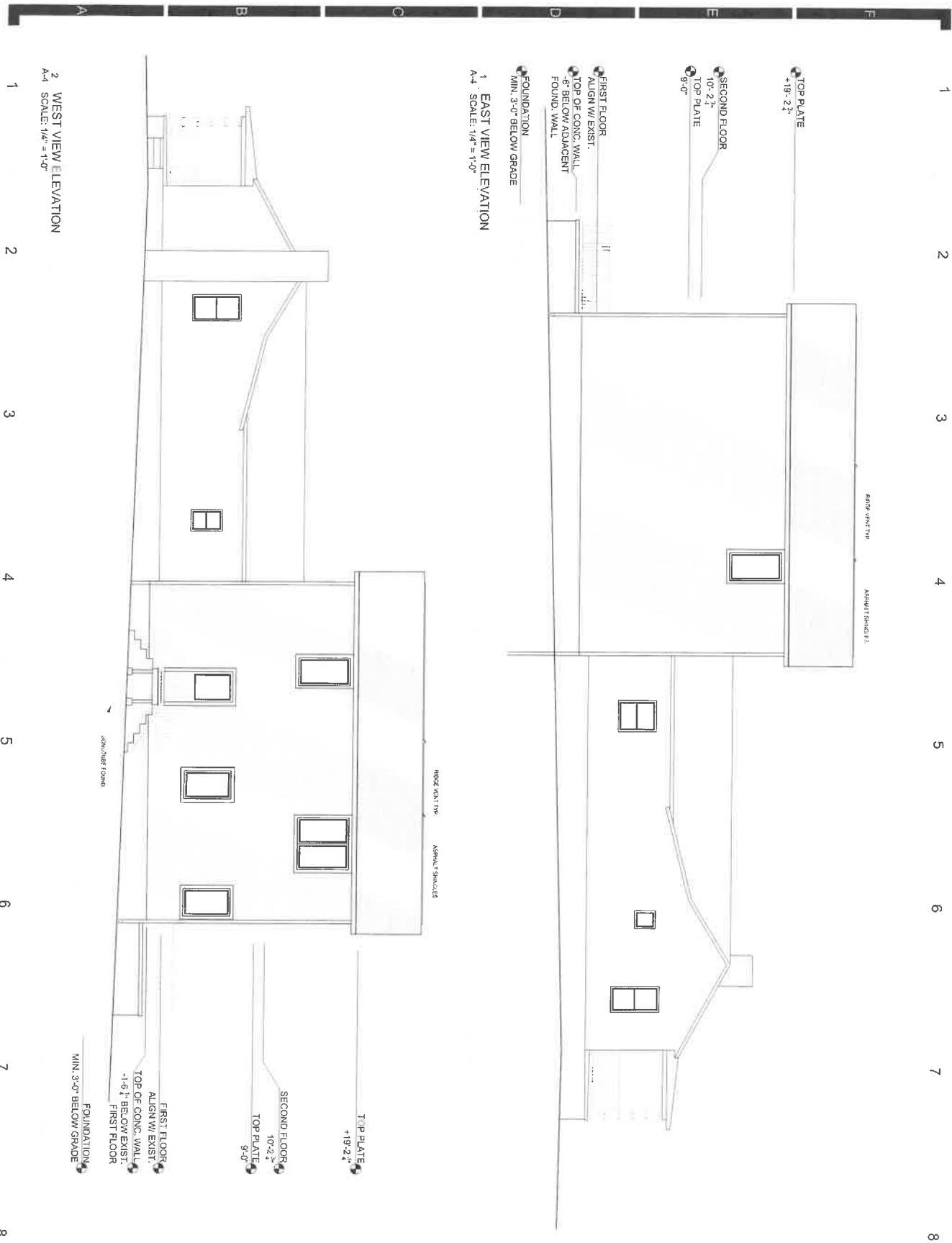


lance wyse, architect
wyse.lance@gmail.com
419.630.8995

GRISER
NEW ADDITION

DATE: 2/20/24
DRAWN BY: JWG
PROJECT: GRISER
SHEET: A-3

A-3



1 EAST VIEW ELEVATION
 A-4 SCALE: 1/4" = 1'-0"

2 WEST VIEW ELEVATION
 A-4 SCALE: 1/4" = 1'-0"



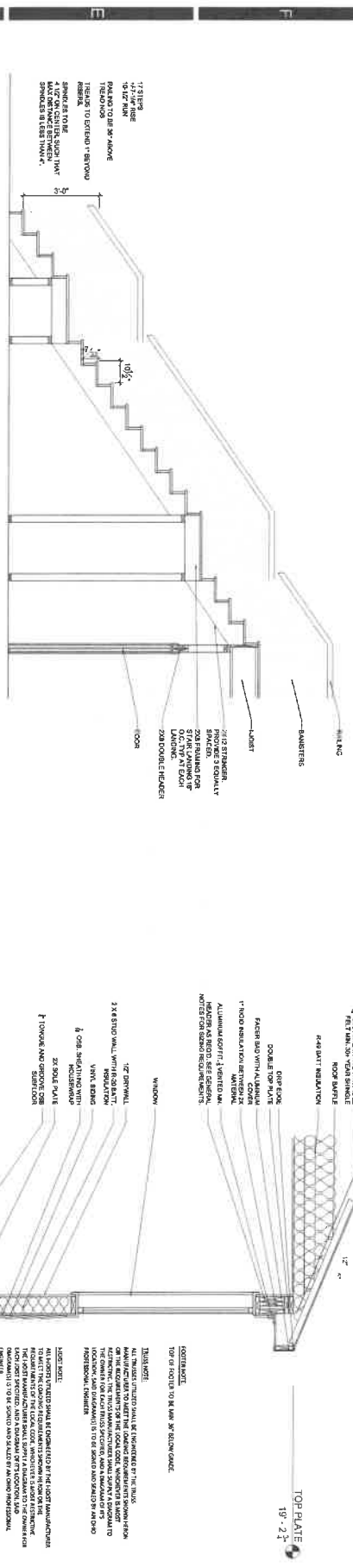
lance wyse, architect
 wyse.lance@gmail.com
 419.630.8995

GRISER
 NEW ADDITION

DATE: 2.2024
 DRAWN BY: TM
 PROJECT: GRISER
 SHEET

A-4

1 2 3 4 5 6 7 8



1 STAIR SECTION
A-B SCALE: 1/2" = 1'-0"

2 STAIR SECTION
A-B SCALE: 1/2" = 1'-0"

3 WALL PUNCH THROUGH
A-B SCALE: 1/2" = 1'-0"

4 SECTION
A-B SCALE: 3/4" = 1'-0"

5 SECTION
A-B SCALE: 3/4" = 1'-0"

6 SECTION
A-B SCALE: 3/4" = 1'-0"

7 SECTION
A-B SCALE: 3/4" = 1'-0"

TOP OF FLOOR
9'-0"

TOP OF FOOTER
MIN. 3'-0" BELOW GRADE

NOTES:
1. ALL WORK TO BE COMPLETED BY THE LOCAL MANUFACTURER.
2. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STAIRS AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WALLS AND FLOORS.
3. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FOUNDATION.
4. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE INTERIORS AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE EXTERIORS.
5. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE MECHANICAL AND ELECTRICAL SYSTEMS.
6. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PLUMBING AND HEATING SYSTEMS.
7. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE LANDSCAPE ARCHITECTURE.
8. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SIGNAGE AND MARKING.
9. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SECURITY SYSTEMS.
10. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ACCESSIBILITY FEATURES.
11. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ENERGY EFFICIENCY MEASURES.
12. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SUSTAINABILITY FEATURES.
13. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE COMMUNITY ENGAGEMENT FEATURES.
14. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE CULTURAL AND HISTORICAL FEATURES.
15. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ART AND DESIGN FEATURES.
16. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE RECREATION AND LEISURE FEATURES.
17. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE EDUCATION AND TRAINING FEATURES.
18. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE HEALTH AND WELLNESS FEATURES.
19. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SOCIAL AND COMMUNITY FEATURES.
20. THE LOCAL MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ENVIRONMENTAL AND CLIMATE FEATURES.